

November 4, 2021

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kmccormack@hrca.on.ca

Delivered Via Electronic Mail and Courier

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Community Planning Department
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Niagara Escarpment Commission
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Georgetown, ON L7G 4B1
Joe.Muller@ontario.ca

Dear Sirs and Madam:

**RE: Nelson Aggregate – Burlington Quarry
Aggregate Resources Act Site Plan Amendment Application
Part Lot 1 & 2, Concession 2, City of Burlington (Geographic Township of Nelson) Region of
Halton – Licence Nos. 5499 and 5657
OUR FILE 9135D**

Nelson Aggregate Co. has filed a Site Plan Amendment Application to the Ministry of Northern Development, Mines, Natural Resources and Forestry (NDMNRF) to integrate the existing Burlington Quarry with the proposed Burlington Quarry Extension.

The following is a summary of the proposed Site Plan Amendment:

- 1) Adjacent to the proposed west extension, existing extractions limits in the existing quarry will be revised to allow for an integrated operation and rehabilitation design (e.g. removal of 15 metre setback);
- 2) Adding permissions for material extracted within the extension to be transported to the existing quarry for processing and shipping;
- 3) A new entrance/exit access ramp adjacent to No.2 Sideroad to transport material from the south extension into the existing quarry;
- 4) Requests for provincial overrides to facilitate an integrated operations and rehabilitation between the extension and existing quarry;
- 5) A revised rehabilitation plan to facilitate cohesive rehabilitation with the proposed quarry extension, changes to the final end use from a deep lake system to a shallow lake with surrounding lands including an agricultural area (14.5 ha);
- 6) Added noise attenuation recommendations identified through the quarry extension application process that relate to the existing quarry;
- 7) Updated site plan notes throughout drawings to address all changes, including proposed variations to the Control and Operation of Pit or Quarry (O. Reg. 244/97 Section 0.13); and
- 8) Minor housekeeping items.

In accordance with the direction from NDMNRF, please provide comments to the following:

**Ministry of Northern Development,
Mines, Natural Resources and Forestry
Integrated Aggregate Operations Section**
4th Flr S, 300 Water St,
Peterborough, ON K9J 3C7
ARAApprovals@ontario.ca

Brian Zeman
MHBC
113 Collier Street
Barrie, ON L4M 1H2
bzeman@mhbcplan.com

NDMNRF have requested comments within 30 days and noted that comments by email are preferred. In accordance with this direction, please provide comments no later than **Wednesday, December 8, 2021.**

In support of the proposed amendment, please find attached:

- Aggregate Resources Act Site Plan Amendment Forms
- Copy of the Proposed Site Plans for the Existing Burlington Quarry

In addition, a copy of the Proposed Site Plans for the Existing Burlington Quarry can also be found on <https://www.mtnemoquarrypark.com/copy-of-technical-documents>

If you have any questions or would like a meeting to discuss the proposed amendment, do not hesitate to contact the undersigned.

Yours truly,

MHBC



Brian A. Zeman, BES, MCIP, RPP
President

cc. *Quinn Moyer, Nelson Aggregate Co. (email only)*
Peter Graham, Nelson Aggregate Co. (email only)
Tecia White, Whitewater Hydrogeology Ltd. (email only)

Attachments:

1. ARA Site Plan Amendment Form for Licence 5499
2. ARA Site Plan Amendment Form for Licence 5657
3. Proposed Site Plans for the Existing Burlington Quarry

Attachment **1**

Instructions

Applications for an Amendment

This form is to be completed by any licence or permit holder applying to the ministry to make a change to their licence, permit, or site plan under sections 13, 13.1, 13.2, 30.1, or 37.2 of the Act.

When notification is required, this form must be circulated with the amendment application package.

As part of an application for an amendment, the licensee or permittee must submit a sketch or a draft copy of an updated site plan or site plan pages to the ministry.

Following confirmation from the ministry that the proposed amendment is acceptable, the licensee or permittee must make changes to the site plan to reflect the noted changes and submit the updated site plan or site plan pages to the ministry for approval.

Following ministry approval, the licensee or permittee must include a description of the amendment and the date the amendment was approved on a schedule to the site plan and must forward the site plan to the ministry for their records.

Submit this form and any additional information online using the [Natural Resources Information Portal](#). If you have any questions about using the Natural Resources Information Portal, contact NRIP@ontario.ca. If web access is unavailable, submit the form and additional information by mail to Integrated Aggregate Operations Section, Ministry of Natural Resources and Forestry, 300 Water Street, Peterborough ON K9J 3C7.

When an amendment requires consultation and you are participating in the *Aggregates Resources Act* (ARA) notification and consultation process, all personal information (PI) you provide may be subject to the *Freedom of Information and Protection of Privacy Act* (FIPPA), whether provided to the Applicant or MNR at any point during the consultation process. The MNR collects your PI under the authority of s.7, s. 11, s.13.1, s.23, s. 34, s. 35 and other provisions of the ARA and maintains it for the purposes of ensuring consultation and other requirements in the ARA are met. Under the authority of s. 11(2), s.13.1(3), s.23(7), s.35(2) of the ARA, your name and address will form part of the public record (that is available to the general public as described in s 37 of FIPPA) and will appear with your comments, unless you request in your submission that your name and address be kept confidential. If you have any questions about the collection and use of your personal information, please contact Ministry of Natural Resources and Forestry, Natural Resources Information and Support Centre (NRISC) 300 Water Street, Peterborough ON K9J 3C7. Toll free: 1-800-667-1940.

Fields marked with an asterisk (*) are mandatory.

Section A: Site Identification

Licence/Permit ID Number *

5499

Licensee/Permittee Name *

Nelson Aggregate Co.

Local Municipality

City of Burlington

Upper Tier Municipality

Region of Halton

Site Location (e.g. lot and concession, geographic township, 911 address) *

Part Lots 1 & 2, Concession 2 & 3

Geographic Township of Nelson

City of Burlington

Regional Municipality of Halton

Section B: Contact Information

Last Name *

Zeman

First Name *

Brian

Middle Initial

Telephone Number *

705-728-0045

Extension 226

Email

bzeman@mhbcplan.com

Address

Unit Number

Street Number *

113

Street Name *

Collier Street

PO Box

City/Town *

Barrie

Country *

Canada

Province/State *

Ontario

Postal Code/Zip Code *

L4M 1H2

Input all necessary information for correspondence

See above for contact information.

I authorize the person named above to provide correspondence and proceed with amendments on my behalf.

I authorize the person applying on my behalf to use their company name and address to be used for correspondence on behalf of the licensee/permittee during the site plan amendment process.

Section C: Description of Amendment

Check the box that best represents the amendment that is the subject of this form. *

Amendment to lower the depth of extraction in an area of a licence or aggregate permit that does not allow extraction below the water table under section 13.1 or 37.2 of the *Aggregate Resources Act*

- If selected, include technical reports, information and an updated site plan in your submission as described in *Aggregate Resources of Ontario: Amendment Standards*.

Amendment to expand a licence boundary into an adjacent road allowance under section 13.2 of the Act

- If selected, ensure that technical reports, information and an updated site plan are attached in your submission as described in *Aggregate Resources of Ontario: Amendment Standards*.

Other amendments (not including Amendment Without Approval)

- The ministry may require the applicant to provide additional information.
- The ministry may direct you to circulate this form to organization(s) and individual(s) for comment(s).

Description *

Provide a description of the proposed amendment(s)

1) Adjacent to the proposed west extension, existing extractions limits in the existing quarry will be revised to allow for an integrated operation and rehabilitation design (e.g. removal of 15 metre setback); 2) Adding permissions for material extracted within the extension to be transported to the existing quarry for processing and shipping; 3) A new entrance/exit access ramp adjacent to No.2 Sideroad to transport material from the south extension into the existing quarry; 4) Requests for provincial overrides to facilitate an integrated operations and rehabilitation between the extension and existing quarry; 5) A revised rehabilitation plan to facilitate cohesive rehabilitation with the proposed quarry extension, changes to the final end use from a deep lake system to a shallow lake with surrounding lands including an agricultural area (14.5 ha); 6) Added noise attenuation recommendations identified through the quarry extension application process that relate to the existing quarry; 7) Updated site plan notes throughout drawings to address all changes, including proposed variations to the Control and Operation of Pit or Quarry (O. Reg. 244/97 Section 0.13); and 8) Minor housekeeping items.

A copy of the revised site plans can be found on <https://www.mtnemoquarrypark.com/copy-of-technical-documents>. Click on "Proposed Existing Burlington Quarry Site Plan"

Provide reasons for the site plan amendment request

To integrate the existing Burlington Quarry with proposed Burlington Quarry Extension.

Select all that apply *

- Enclosed is a sketch/picture outlining proposed changes to the site plan.
- Enclosed is a draft version of a page(s) of the site plan altered to demonstrate the desired changes to the site plan.
- Enclosed is additional information and/or technical reports.

Last Name *

Moyer

First Name *

Quinn

Signature (Licencee/Permittee)



Date (yyyy/mm/dd)

* 2021/10/26

Save Form

Print Form

Clear Form

Attachment **2**

Instructions

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Section A: Site Identification

Licence/Permit ID Number *

5657

Licensee/Permittee Name *

Nelson Aggregate Co.

Local Municipality

City of Burlington

Upper Tier Municipality

Region of Halton

Site Location (e.g. lot and concession, geographic township, 911 address) *

Part Lots 1, Concession 3

Geographic Township of Nelson

City of Burlington

Regional Municipality of Halton

Section B: Contact Information

Last Name *

Zeman

First Name *

Brian

Middle Initial

Telephone Number *

705-728-0045

Extension 226

Email

bzeman@mhbcplan.com

Address

Unit Number

Street Number *

113

Street Name *

Collier Street

PO Box

City/Town *

Barrie

Country *

Canada

Province/State *

Ontario

Postal Code/Zip Code *

L4M 1H2

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- Enclosed is a draft version of a page(s) of the site plan altered to demonstrate the desired changes to the site plan.
- Enclosed is additional information and/or technical reports.

Last Name *

Moyer

First Name *

Quinn

Signature (Licencee/Permittee)



Date (yyyy/mm/dd)

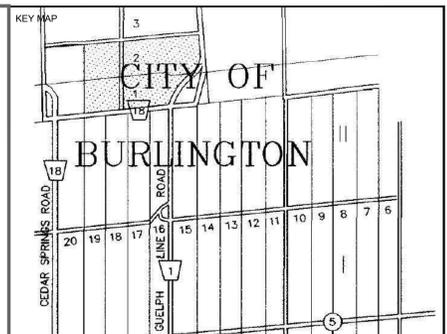
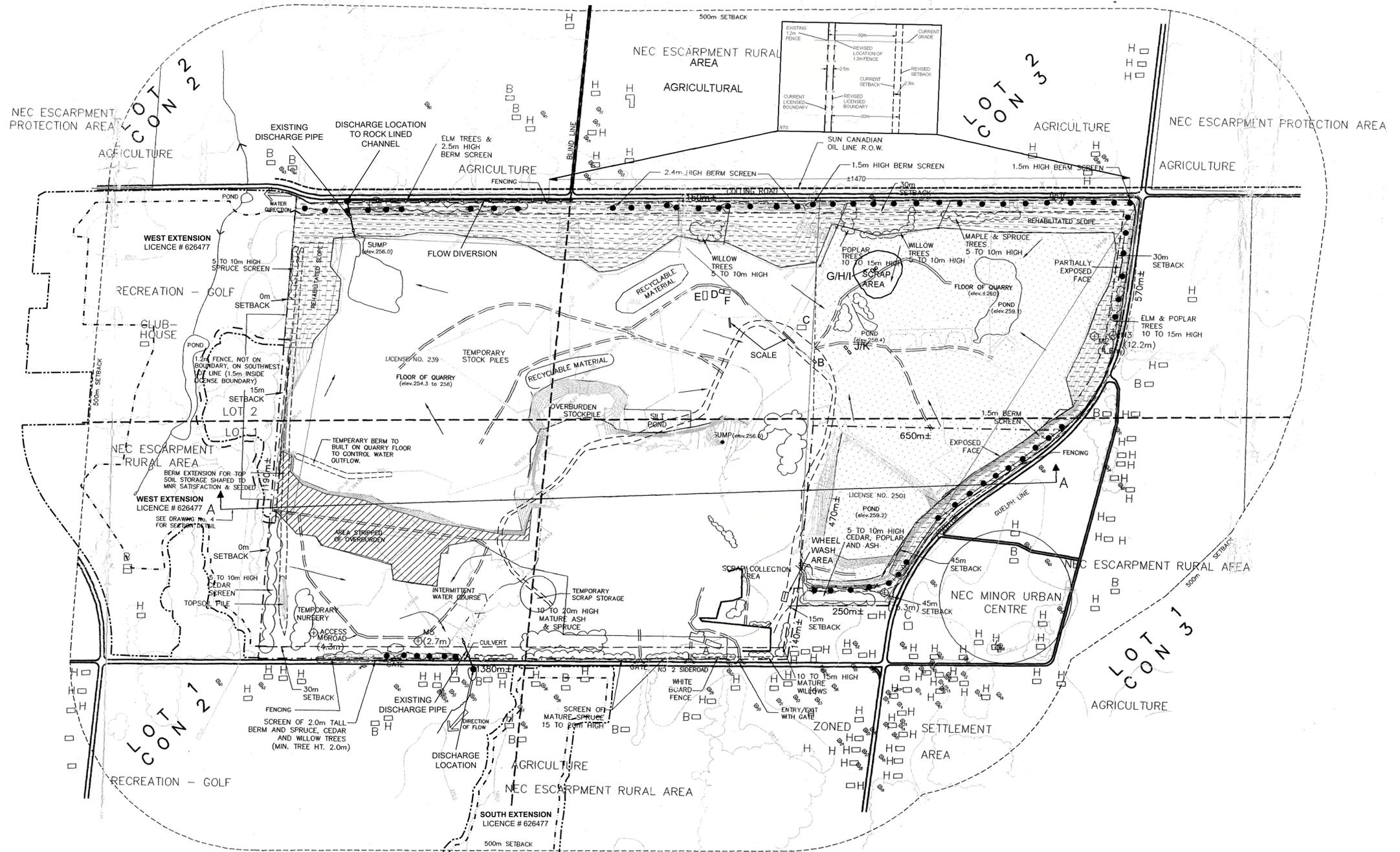
* 2021/10/26

Save Form

Print Form

Clear Form

Attachment **3**



SITE DESCRIPTION AND STATISTICS
 PT. LOTS 1 & 2, CONC. 2 & 3
 CITY OF BURLINGTON
 REGIONAL MUNICIPALITY OF HALTON

| LICENCE NO. | LICENSED AREA (ha) |
|--------------|--------------------|
| 5499 | 202.1 |
| 5657 | 16.2 |
| TOTAL | 218.3 |

TOTAL AREA TO BE EXTRACTED (both licenses) 211 ha

BUILDINGS WITHIN QUARRY BOUNDARY

| Letter | Description | Dimensions |
|--------|-------------------------|--------------|
| A | OFFICE | 40mX15mX5m |
| B | PORTABLE SCALE HOUSE | 15mX7m |
| C | FUEL PUMPS | 30mX10mX4m |
| D | LUNCH ROOM | 5mX5mX5m |
| E | ASPHALT PLANT | 120mX30mX15m |
| F | ASPHALT CONTROL ROOM | 30mX15mX8m |
| G | STORAGE SHED #1 | 5mX10mX3m |
| H | STORAGE SHED #2 | 4mX5mX3m |
| I | STORAGE SHED #3 | 7mX5mX3m |
| J | PORTABLE OFFICE TRAILER | 10mX5mX3m |
| K | PORTABLE OFFICE TRAILER | 10mX5mX3m |

LEGEND OF BUILDINGS WITHIN 500m OF QUARRY BOUNDARY

| Letter | Description |
|--------|---|
| H | HOUSE |
| B | BARN |
| C | COMMERCIAL BUILDING i.e. GAS BAR |
| R | RECREATION BUILDING i.e. GOLF CLUBHOUSE |

All distances on this plan are shown in metres unless otherwise stated.

Site Plan Amendments

| No. | Date (Y/M/D) | Description | By |
|-----|--------------|---|------|
| 12 | 21/09/10 | UPDATE DRAWINGS 2 OF 4 AND 3 OF 4 | C.P. |
| 11 | 21/04/19 | INTEGRATION OF BURLINGTON QUARRY EXTENSION LICENSE # 626477 | C.P. |
| 10 | 19/07/14 | REMOVAL/RELOCATION OF BUILDING STRUCTURES ON-SITE | L.H. |
| 9 | 12/01/20 | REVISE FUEL STORAGE NOTE #8 ON PAGE 2 OF 4 | L.H. |
| 8 | 07/12/03 | REVISE INTERNAL DYKE | L.H. |
| 7 | 06/11/02 | REDUCTION OF LICENSED BOUNDARY | L.H. |
| 6 | 06/09/16 | REVISE LOCATION OF SCRAP AREA | L.H. |
| 5 | 08/10/08 | ADDITIONAL RECYCLABLE MATERIAL STORAGE | P.C. |
| 4 | 07/03/05 | REVISED AS PER MINISTRY COMMENTS | P.C. |
| 3 | 03/06/15 | REVISED AS PER MINISTRY COMMENTS | K.C. |
| 2 | 02/10/16 | REVISED AS PER CLIENT COMMENTS | G.M. |
| 1 | 02/10/08 | REVISED PLANS AS PER MNR COMMENTS | M.H. |

WELL INFORMATION

| Key | M.O.E. No.(28--) | Elev.(m) | Static Elev.(m) | Key | M.O.E. No.(28--) | Elev.(m) | Static Elev.(m) | Key | M.O.E. No.(28--) | Elev.(m) | Static Elev.(m) |
|-----|------------------|----------|-----------------|-----|------------------|----------|-----------------|-----|------------------|----------|-----------------|
| 1 | 105 | 283.5 | 278.9 | 28 | 5572 | 283.5 | 278.8 | 55 | 488 | 277.4 | 276.5 |
| 2 | 99 | 281.9 | 277.4 | 29 | 124 | 278.0 | 276.6 | 56 | 496 | 277.4 | 277.4 |
| 3 | 101 | 281.9 | 277.4 | 30 | 5464 | 274.3 | 265.2 | 57 | 493 | 283.5 | 275.5 |
| 4 | 5454 | 286.5 | 277.4 | 31 | 126 | 274.3 | 271.0 | 58 | 5392 | 280.4 | 273.7 |
| 5 | 5461 | 283.5 | 274.3 | 32 | 125 | 274.3 | 272.8 | 59 | 5566 | 280.4 | 267.9 |
| 6 | 103 | 284.1 | 278.6 | 33 | 128 | 274.3 | 271.9 | 60 | 5463 | 280.4 | 272.8 |
| 7 | 5565 | 286.5 | 278.3 | 34 | 5110 | 274.3 | 266.4 | 61 | 4299 | 283.5 | 266.7 |
| 8 | 5391 | 288.4 | 280.4 | 35 | 5434 | 274.3 | 264.6 | 62 | 5480 | 283.5 | 274.3 |
| 9 | 5455 | 288.4 | 278.9 | 36 | 129 | 280.4 | 268.2 | 63 | 491 | 281.9 | 277.7 |
| 10 | 100 | 283.5 | 277.4 | 37 | 5564 | 283.5 | 270.7 | 64 | 484 | 283.5 | 278.9 |
| 11 | 6570 | 286.5 | 277.7 | 38 | 4172 | 260.4 | 278.3 | 65 | 465 | 283.5 | 274.6 |
| 12 | 5433 | 286.5 | 276.8 | 39 | 3696 | 280.4 | 269.4 | 66 | 492 | 283.5 | 274.6 |
| 13 | 4735 | 283.5 | 281.9 | 40 | 3646 | 271.3 | 268.8 | 67 | 3552 | 289.6 | 281.6 |
| 14 | 4859 | 282.2 | 278.9 | 41 | 5313 | 274.3 | 266.7 | 68 | 5738 | 286.5 | 274.3 |
| 15 | 102 | 281.0 | 278.0 | 42 | 137 | 272.2 | 268.5 | 69 | 5432 | 280.4 | 268.5 |
| 16 | 5714 | 286.5 | 279.2 | 42 | 5789 | 277.4 | 268.2 | 70 | 3143 | 283.5 | 281.3 |
| 17 | 5709 | 288.4 | 274.9 | 44 | 5622 | 277.4 | 273.7 | 71 | 5373 | 280.4 | 272.2 |
| 18 | 3015 | 281.0 | 280.7 | 45 | 5705 | 277.4 | 265.2 | 72 | 5109 | 278.9 | 268.8 |
| 19 | 5459 | 289.6 | 276.8 | 46 | 5569 | 280.4 | 275.2 | 73 | 497 | 279.8 | 270.4 |
| 20 | 115 | 275.0 | 272.8 | 47 | 490 | 277.4 | 259.1 | 74 | 2820 | 278.9 | 267.3 |
| 21 | 5588 | 280.4 | 272.2 | 48 | 487 | 277.4 | 275.2 | 75 | 5861 | 277.4 | 260.3 |
| 22 | 3115 | 280.4 | 278.0 | 49 | 486 | 281.0 | 275.6 | 76 | 3516 | 277.4 | 261.6 |
| 23 | 5706 | 283.5 | 276.5 | 50 | 5589 | 280.4 | 268.5 | 77 | 4229 | 280.4 | 263.7 |
| 24 | 5466 | 283.5 | 279.8 | 51 | 5713 | 280.4 | 269.1 | 78 | 5311 | 278.9 | 263.3 |
| 25 | 3230 | 280.4 | 278.8 | 52 | 4281 | 278.9 | 273.7 | 79 | 4744 | 278.0 | 263.7 |
| 26 | 110 | 281.0 | 279.8 | 53 | 489 | 277.4 | 275.6 | 80 | 3545 | 280.4 | 271.3 |
| 27 | 121 | 280.4 | 277.4 | 54 | 5550 | 280.4 | 272.8 | | | | |

- LEGEND:**
- EXISTING SPOT ELEVATIONS
 - EXISTING CONTOURS
 - BOUNDARY OF LICENSED AREA
 - SETBACK LIMITS
 - EXISTING 1.2m FENCE ON BOUNDARY
 - ENTRANCE GATES
 - ACTIVE QUARRY FACE
 - TREE AREAS/WOODLOTS/SCREENS
 - HAUL ROUTES/INTERIOR ROADWAYS
 - ⊕ EXISTING WATER WELL (WITH KEY No.)
 - ⊕ M6 (10.5m) and DEPTH TO WATER AS OF MARCH 30, 1992
 - /// AREA STRIPPED OF TOPSOIL/OVERBURDEN
 - SURFACE DRAINAGE
 - EARTH BERM SCREEN
 - REHABILITATED AREA
 - INTERIM REHABILITATED AREA
 - EXTENSION LICENSE BOUNDARY
 - EXTENSION LIMIT OF EXTRACTION
 - FLOW DIVERSION / DISCHARGE PIPE

Official Plan & Zoning Information:
 As per the Niagara Escarpment Plan, which is included as part of the Halton Official Plan, Quarry Site is designated as a Mineral Resource Extraction Area. The designation of areas adjacent to the quarry is Escarpment Rural. The Official Plan for Halton Region designates the site as Mineral Resource Extraction Area.

Water table Information:
 The water table is located approximately ±4.9m (269.0m ASL) below undisturbed grade. De-watering takes place continuously, and has been in place for approximately 50 years.

Fencing:
 The licensed area is enclosed by a 1.2m fence with the exception of the area around the office which has a three rail wooden fence.

Site Description:
 Part of Lots 1 and 2, Concessions 2 and 3, City of Burlington, Regional Municipality of Halton.

- Information Compiled From**
- 1990 Aerial Photography at 1:5000 Scale
 - 1988 Official Plan for the Halton Planning Area, Regional Municipality of Halton
 - 1985 Niagara Escarpment Plan
 - Ministry of Environment, Water well records
 - 1991 Reinders Field Survey
 - Ontario Base Mapping (Air Photography 1982, Published 1983)
 - 1985 Plans by Nelson
 - 1997 Mark-Ups Provided by Nelson
 - Rehabilitation contours utilized the City of Burlington's Open Data Catalogue which contains 2017 contour data and are displayed in one metre intervals
 - Elevations shown are in metres above sea level (masl)
 - On-site haul roads, stockpile locations, buildings and structures were updated based on July, 2020 aerial photography

ORIGINAL SITE PLANS PREPARED BY:

REINDERS
 F.J. Reinders and Associates Canada Limited
 Architects, Engineers, Planners, Project Managers
 BRAMPTON (416) 657-1818

PLANNING PROFESSIONAL SERVICES
 P. D. W. CHURCH
 1111 GERRARD ST. E. UNIT 101
 SCARBOROUGH, ONT. M1A 4B4
 (416) 291-1111

DATE: MAR.05/99 PROJECT NO.: 4792 DRAWN BY: C.G./S.B. CHECKED BY: T.M.J.

MHBC
 113 COLLIER STREET BARRIE, ON. L4M 1H2 | P: 705 728 0045 F: 705 728 2010 | WWW.MHBCPLAN.COM

MHBC PLANNING DRAFTED SITE PLAN AMENDMENTS NO. 6 TO 12

Stamp: **PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE**

Mr. Brian Zeman is authorized by the Ministry of Natural Resources and Forestry to prepare and certify site plans for license applications.

Burlington Quarry
 Part of Lots 1 & 2, Conc. 2 & 3
 (former township of Nelson) City of Burlington, Region of Halton

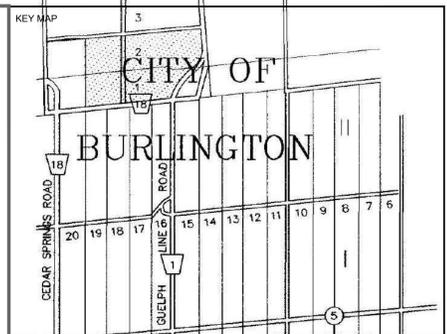
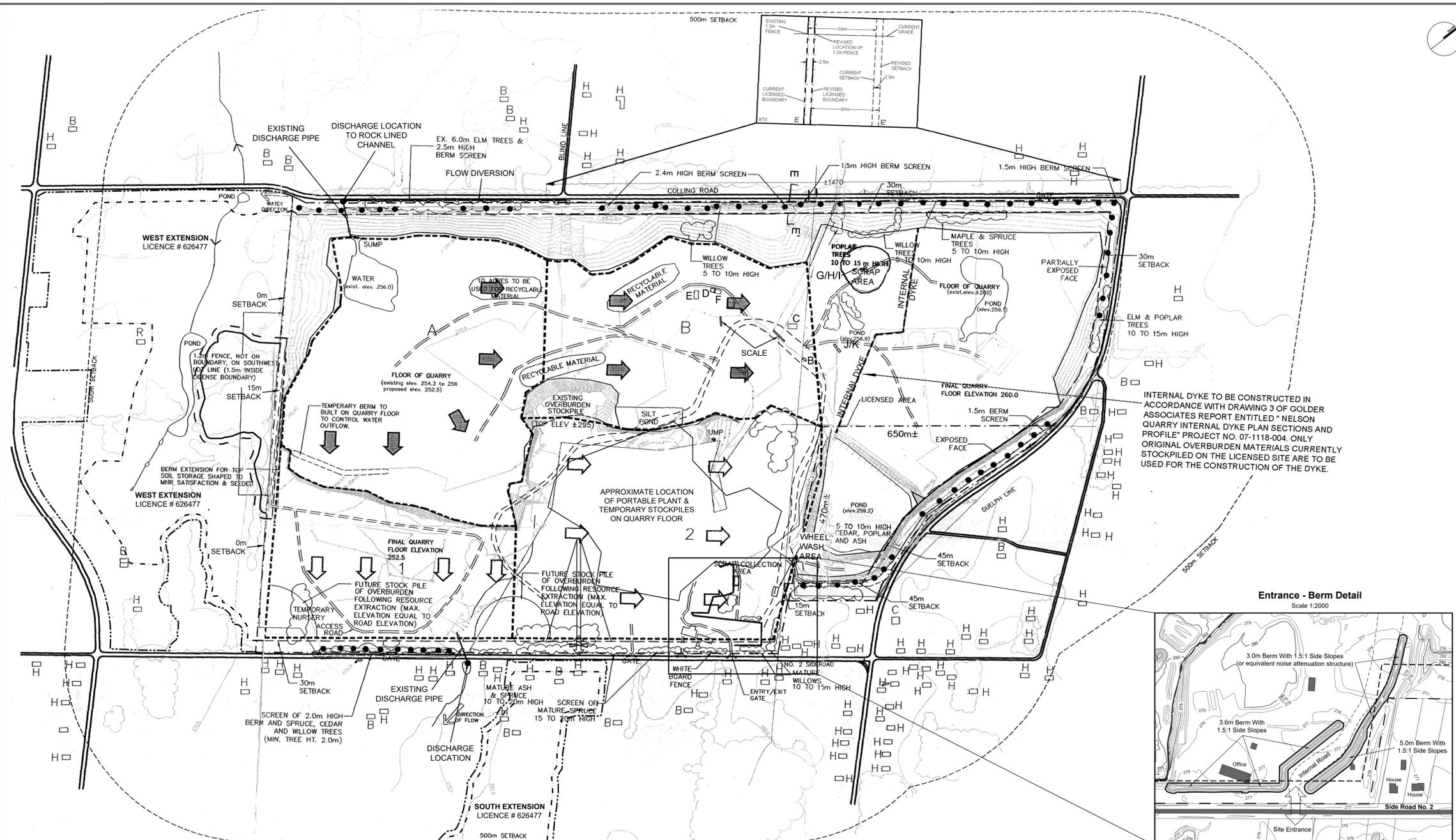
NELSON AGGREGATE CO.
 2433 No. 2 Sideroad
 P.O. Box 1070 Burlington Ont. L7R 4L8
 phone: (905) 335-5250

Scale: 0 50 100 200 250 Metres

Drawn By: L.H./C.P. File No: 9135N
 Checked By: B.Z. Date: SEPTEMBER 2021

File Name: **EXISTING FEATURES**
 Drawing No: **1 OF 4**

© 2021 Nelson - Project Drawing/Drawings/ARA Site Plans/Existing Site Plans/CAD/1150 - Existing - 1 of 4 - Existing Features.dwg



SITE DESCRIPTION AND STATISTICS
 PT. LOTS 1 & 2, CONC. 2 & 3
 CITY OF BURLINGTON
 REGIONAL MUNICIPALITY OF HALTON

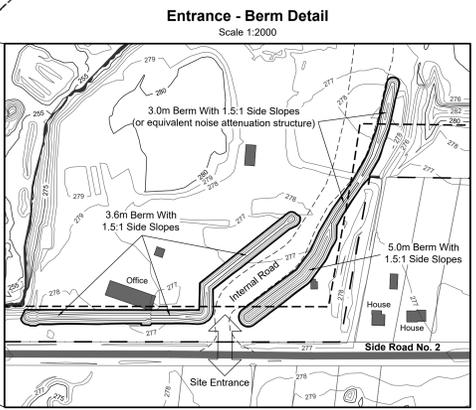
| LICENCE NO. | LICENSED AREA (ha) |
|--------------|--------------------|
| 5499 | 202.1 |
| 5657 | 16.2 |
| TOTAL | 218.3 |

TOTAL AREA TO BE EXTRACTED (both licenses) 211 ha

BUILDINGS WITHIN QUARRY BOUNDARY

| Letter | Description | Dimensions |
|--------|-------------------------|--------------|
| A | OFFICE | 40mX15mX5m |
| B | PORTABLE SCALE HOUSE | 15mX7m |
| C | FUEL PUMPS | 30mX10mX4m |
| D | LUNCH ROOM | 5mX5mX5m |
| E | ASPHALT PLANT | 120mX30mX15m |
| F | ASPHALT CONTROL ROOM | 30mX15mX8m |
| G | STORAGE SHED #1 | 5mX10mX3m |
| H | STORAGE SHED #2 | 4mX5mX3m |
| I | STORAGE SHED #3 | 7mX5mX3m |
| J | PORTABLE OFFICE TRAILER | 10mX5mX3m |
| K | PORTABLE OFFICE TRAILER | 10mX5mX3m |

INTERNAL DYKE TO BE CONSTRUCTED IN ACCORDANCE WITH DRAWING 3 OF GOLDER ASSOCIATES REPORT ENTITLED "NELSON QUARRY INTERNAL DYKE PLAN SECTIONS AND PROFILE" PROJECT NO. 07-1118-004. ONLY ORIGINAL OVERBURDEN MATERIALS CURRENTLY STOCKPILED ON THE LICENSED SITE ARE TO BE USED FOR THE CONSTRUCTION OF THE DYKE.



LEGEND OF BUILDINGS WITHIN 500m OF QUARRY BOUNDARY

| | |
|---|---|
| H | HOUSE |
| B | BARN |
| C | COMMERCIAL BUILDING i.e. GAS BAR |
| R | RECREATION BUILDING i.e. GOLF CLUBHOUSE |

- LEGEND**
- EXISTING SPOT ELEVATIONS
 - EXISTING CONTOURS
 - BOUNDARY OF LICENSED AREA
 - SETBACK LIMITS
 - EXISTING 1.2m FENCE ON BOUNDARY
 - ENTRANCE GATES
 - ACTIVE QUARRY FACE
 - TREED AREAS/WOODLOTS/SCREENS
 - HAUL ROUTES/INTERIOR ROADWAYS
 - AREA STRIPPED OF TOPSOIL/OVERBURDEN
 - EARTH BERM SCREEN
 - AGGREGATE STOCKPILE MAXIMUM HT. 20.0m
 - APPROXIMATE SEQUENCE OF EXTRACTION (UPPER LIFTS)
 - APPROXIMATE SEQUENCE OF EXTRACTION (LOWER LIFTS)
 - APPROXIMATE BOUNDARY BETWEEN STAGES
 - DIRECTION OF EXTRACTION
 - DIRECTION OF EXTRACTION 2ND. LIFT
 - EXTENSION LICENCE BOUNDARY
 - EXTENSION LIMIT OF EXTRACTION
 - FLOW DIVERSION / DISCHARGE PIPE
 - PROPOSED ENTRANCE / EXIT WITH GATE

- General Notes**
- This site plan specifies the additional storage size (10 acres) for recyclable materials.
 - This site plan specifies that the storage only includes asphalt and concrete for the purpose of aggregate recycling (for this to be considered accessory to the aggregate operation. The materials should be restricted to aggregate based materials).
 - This site plan specifies that this use only continues so long as the site is licensed.
- Aggregate Extraction**
- This plan depicts an operation plan for this property based upon the best information available at the time of preparation. Phases are schematic and may vary slightly with demand. Phases do not represent any specific or equal time period. Any major deviations from the operational sequence will require approval of the MNR.
 - Topsoil and overburden will be removed approximately 100 to 200 metres in advance of aggregate extraction.
 - Phase 1 will be excavated in a single lift (20-25m) down to the shale layer. A slot may be advanced southward in the centre of Phase 1. Extraction will occur simultaneously from the east, west and south faces within the slot and from the south face on either side of the slot opening.
 - Phase 2 will be extracted in an easterly direction in a single lift (20-25m) down to the shale layer.
 - As required, the existing processing plant will be removed and a new portable plant will be established on the quarry floor (as shown).
 - A section lift (4-5m) in areas A and B will be extracted down to the shale layer. Extraction may be in the northwest corner of the quarry floor and proceed simultaneously south and eastward this lift will be undertaken at the same time as phases 1 and 2.
 - This plan permits aggregate extracted at the Burlington Quarry Extension to be transported on-site for processing and shipping. The Burlington Quarry South Extension will transport aggregate from an at-grade crossing on No. 2 Sideroad in the location shown on this Plan. The Burlington Quarry West Extension will transport aggregate on the quarry floor within the extraction area connecting the two sites. The final area to be extracted on-site is the southeast corner of Licence No. 5499 after the completion of extraction of the Burlington Quarry Extension.
 - Fuel storage tanks will be installed and maintained in accordance with the Liquid Fuels Handling Code under the Technical Standards and Safety Act.
- On-site Operations**
- Existing equipment includes:
 - Portable crushing plant
 - Trucks and graders
 - Loaders
 - Hydraulic shovels
 - And general equipment required to extract and ship aggregates
 - The processing of extracted materials shall occur between 7:00 and 19:00 only.

- The loading and shipping of products may occur 24 hours.
 - The asphalt plant may operate 24 hours.
 - No drilling or extraction activities will occur within this quarry simultaneously with extraction activities within the Burlington Quarry Extension.
 - The maximum sound power level of equipment operated within the quarry will be as follows:
- | Source | Sound Power Level (dBA re: 10 ⁻¹² Watts) |
|------------------------------------|---|
| Front-end Loader - Processing Area | 101 |
| Jaw Crusher | 113 |
| Cone Crusher (a set of two) | 117 |
| Screen Plant | 123 |
| Power Generator | 109 |
| Moving Haul Truck | 114 |
| Moving Highway Truck | 101 |
- Up to three haul trucks will be used to transport material from the Burlington Quarry Extension to the processing area, with a posted speed limit of 35 km/hr along this route.
 - Up to 30 highway trucks can arrive and depart the site per hour, travelling between the No. 2 Side Road access and the processing area, with a posted speed limit of 20 km/hr along this route.
 - The asphalt plant will be equipped with noise control measures and operate within the conditions stipulated in the ECA issued by the MECP.
 - Equipment used for site preparation and rehabilitation shall satisfy the noise emission levels of the MECP guideline NPC-115, "Noise Construction Equipment".
 - Existing perimeter berms along the north, east and south property lines shall be retained and a new berm/acoustic barrier shall be constructed at the entrance/exit in the southeast corner of the site. See berm detail on this page.
- Overburden and Topsoil**
- The existing terrain features along the north, east, and south property lines, including perimeter berms, will be maintained. Overburden and topsoil will be stripped prior to extraction and will be used for backfilling of selected slopes to affect the rehabilitation measures outlined on dwg No. 3 - Progressive and Final Rehabilitation Plans. Overburden stockpiles along No. 2 sideroad shall not be any higher than the existing road grade.
- Water Discharge**
- Water discharge points are to remain as shown on dwg No. 1 and may also include the flow diversion in the northwest corner of this Plan. Dewatering will occur to maintain a dry quarry floor while the quarry is in operation. The northwest discharge is to a rock lined ditch adjacent to Colling Road where it drains westward and to the southeast if the flow diversion is installed. The south discharge is to a ditch which crosses No. 2 Sideroad and proceeds southward. Discharge of water will be in accordance with permits issued by the MECP.

- Tree Planting**
- Tree planting and seeding of backfilled slopes will be conducted progressively as described in note #6 on dwg No. 3 - Progressive and Final Rehabilitation Plans. Should any tree planting or seeding fail to become established, replacement of trees or seeding will be conducted and maintained to ensure proper success rates.
- Fencing**
- The licensed area is enclosed by a 1.2m fence with the exception of the area around the office and main site access area which has a three rail wooden fence. No fencing is required adjacent to the Burlington Quarry West Extension.
- Aggregate Stockpiles**
- Existing aggregate stockpiles will remain in the locations as shown on this plan during the extraction of areas 1, A and B. These stockpiles will be removed as required as the operation enters into these areas. The proposed stockpiles associated with the portable processing plant will be located on the quarry floor within the processing area. (as shown on the plan)
- Temporary aggregate stockpiles may be located on the quarry floor as required.
- Provision**
- Internal roads on quarry floor are temporary and can be relocated as required.
- Variations from Control and Operation Standards**
- | Section 0.13 Standard | Variation | Rationale |
|-----------------------|--|---|
| (3)(a) | The west licence boundary will not be fenced. | The west licence boundary abuts adjacent Licence # 626477 and additional land which are owned by the same licensee. |
| (1)(1) & (1)(2) | Gates will not be required where haul roads cross the common boundary with the West Extension (Licence # 626477). | This will eliminate constraints to the movement of equipment between licences and access to additional lands owned by the same licensee. |
| (1)(10) | A 0 metre setback will be provided where the licence boundary abuts the West Extension (Licence # 626477). | This will enable material to be extracted along the common boundary and for rehabilitation to transition between licences. |
| (1)(9) & (1)(11) | Excavation within the setback will be provided where the licence boundary abuts the West Extension (Licence # 626477). | Setbacks shall be temporarily excavated and disturbed to install diversion and discharge pipes as well as to construct an at grade roadway crossing on Side Road No. 2. |
| (1)(13) | Topsoil and overburden may be temporarily located within 30m of the West Extension (Licence # 626477). | The adjacent Licence # 626477 is owned by the same licensee. |
| (1)(17) & (1)(18) | Topsoil and/or overburden may be transferred between this licence and the West and East Extensions (Licence # 626477). | This will allow stripped material from site preparation to be used immediately for progressive rehabilitation in other parts of this licence or the extensions. |
| (1)(19) ii | Portions of the quarry face shall remain vertical. | Vertical faces above and below the final lake level will create a more diverse habitat and visually appealing rehabilitated landform. |

Information Compiled From

- 1990 Aerial Photography at 1:5000 Scale
- 1988 Official Plan for the Halton Planning Area, Regional Municipality of Halton
- 1985 Niagara Escarpment Plan
- Ministry of Environment, Water well records
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- Rehabilitation contours utilized the City of Burlington's Open Data Catalogue which contains 2017 contour data and are displayed in one metre intervals
- Elevations shown are in metres above sea level (masl)
- On-site haul roads, stockpile locations, buildings and structures were updated based on July, 2020 aerial photography

MINISTRY OF NATURAL RESOURCES
AURORA DISTRICT
 SITE PLAN APPROVED
 Under the Aggregate Resources Act
 DATE: March 31/19

ORIGINAL SITE PLANS PREPARED BY:

REINDERS
 F.J.Reinders and Associates Canada Limited
 Architects, Engineers, Planners, Project Managers
 BRAMPTON (416)57-1818

NELSON URBAN DESIGN & LANDSCAPE ARCHITECTURE
 113 COLLIER STREET BARRIE, ON, L4M 1H2 | P: 705 728 0045 F: 705 728 2010 | WWW.MHBCPLAN.COM

Stamp
 MUNICIPALITY OF HALTON
 PLANNING DEPARTMENT
 APPROVED
 DATE: SEPTEMBER 2021

Mr. Brian Zeman is authorized by the Ministry of Natural Resources and Forestry to prepare and certify site plans for license applications.

Burlington Quarry
 Part of Lots 1 & 2, Conc. 2 & 3
 (former township of Nelson) City of Burlington, Region of Halton

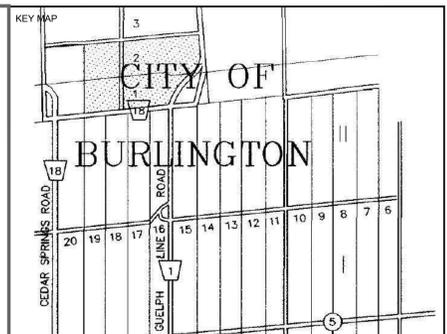
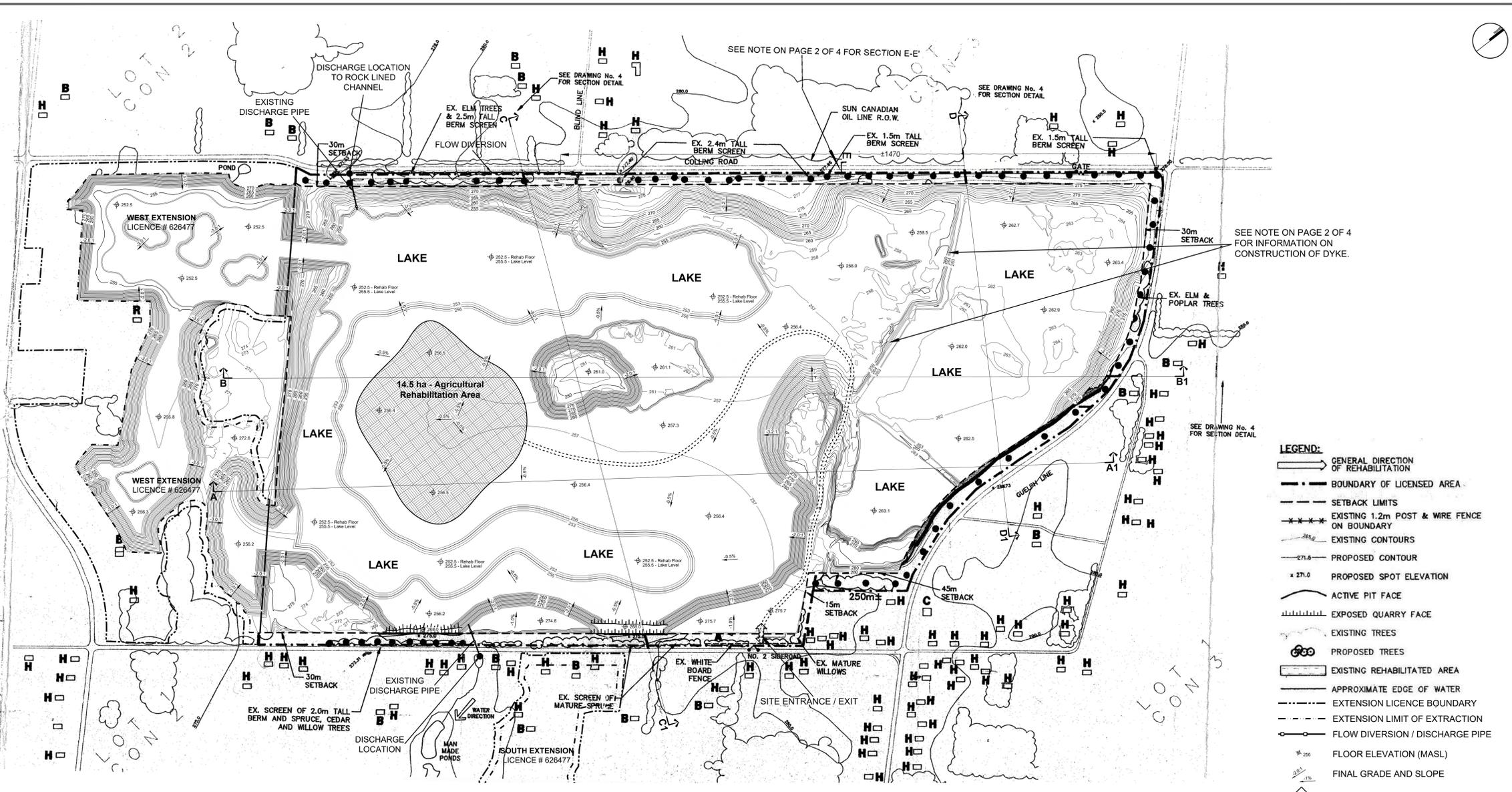
NELSON AGGREGATE CO.
 2433 No. 2 Sideroad
 P.O. Box 1070 Burlington Ont. L7R 4L8
 phone: (905) 335-5250

Scale: 1:4000
 Drawn By: L.H./C.P. File No: 9135N
 Checked By: B.Z. Date: SEPTEMBER 2021

DATE: MAR.05/99 PROJECT NO.: 4792 DRAWN BY: C.G./S.B. CHECKED: T.M.J.

OPERATIONAL PLAN
 Drawing No. 2 OF 4

N:\Shared\1930_Nelson - Project Drawings\Drawings\Area Site Plans\Existing Site Plan\CAD\1930_Existing_2 of 4 - Operational Plan.dwg



SITE DESCRIPTION AND STATISTICS
 PT. LOTS 1 & 2, CONC. 2 & 3
 CITY OF BURLINGTON
 REGIONAL MUNICIPALITY OF HALTON

| | LICENSED AREA (ha) |
|---|--------------------|
| LICENCE NO. 5499 | 202.1 |
| LICENCE NO. 5657 | 16.2 |
| TOTAL | 218.3 |
| TOTAL AREA TO BE EXTRACTED (both licenses) | 211 ha |

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- LEGEND OF BUILDINGS WITHIN 500m OF QUARRY BOUNDARY**
- H HOUSE
 - B BARN
 - C COMMERCIAL BUILDING i.e. GAS BAR
 - R RECREATION BUILDING i.e. GOLF CLUBHOUSE

All distances on this plan are shown in metres unless otherwise stated.

Site Plan Amendments

| No. | Date | Description | By |
|-----|----------|---|----------|
| 12 | 21/09/10 | ADD AGRICULTURAL REHABILITATION AREA AND INTERNAL HAUL ROAD | C.P. |
| 11 | 21/04/19 | INTEGRATION OF BURLINGTON QUARRY EXTENSION LICENCE # 626477 | C.P. |
| 10 | 19/07/14 | REMOVAL/RELOCATION OF BUILDING STRUCTURES ON-SITE | L.H. |
| 9 | 12/01/20 | REVISE FUEL STORAGE NOTE #8 ON PAGE 2 OF 4 | L.H. |
| 8 | 07/12/03 | REVISE INTERNAL DYKE | L.H. |
| 7 | 06/11/02 | REDUCTION OF LICENSED BOUNDARY | L.H. |
| 6 | 06/09/16 | REVISE LOCATION OF SCRAP AREA | L.H. |
| 5 | 08/10/08 | ADDITIONAL RECYCLABLE MATERIAL STORAGE | P.C. |
| 4 | 97/03/05 | REVISED AS PER MINISTRY COMMENTS | P.C. |
| 3 | 93/06/15 | REVISED AS PER CLIENT COMMENTS | K.C. |
| 2 | 92/10/16 | REVISED AS PER CLIENT COMMENTS | G.M. |
| 1 | 92/10/08 | REVISED PLANS AS PER MNR COMMENTS | REINHOLD |

PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE
MHBC
 113 COLLIER STREET, BARRIE, ON, L4M 1H2 | P: 705 728 0045 F: 705 728 2010 | WWW.MHBCPLAN.COM

MHBC PLANNING DRAFTED SITE PLAN AMENDMENTS NO. 6 TO 12

Stamp: *(Professional Engineer Seal)*

Mr. Brian Zeman is authorized by the Ministry of Natural Resources and Forestry to prepare and certify site plans for license applications.

Burlington Quarry
 Part of Lots 1 & 2, Conc. 2 & 3
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ORIGINAL SITE PLANS PREPARED BY:

REINDERS
 F. Reinders and Associates Canada Limited
 Architects, Engineers, Planners, Project Managers
 (416) 903-9888

DATE: MAR. 05/99 PROJECT NO: 4792 DRAWN BY: C.G./S.B. CHECKED: T.M.J.

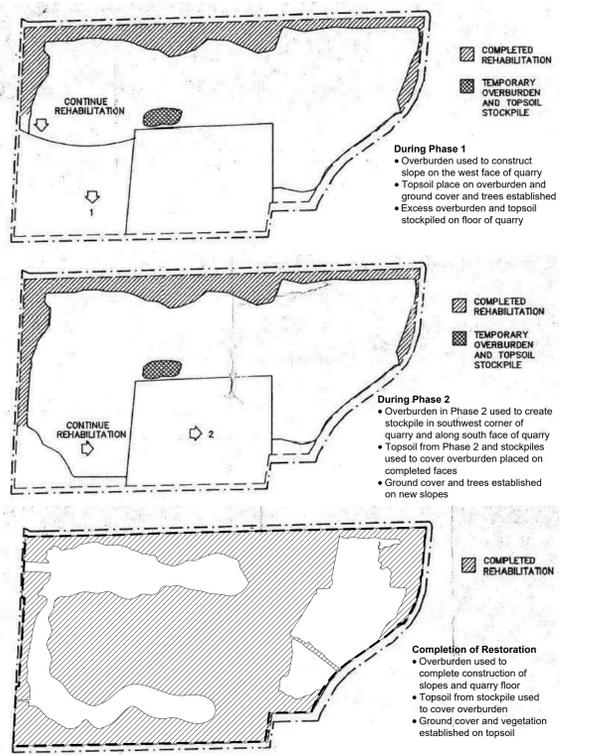
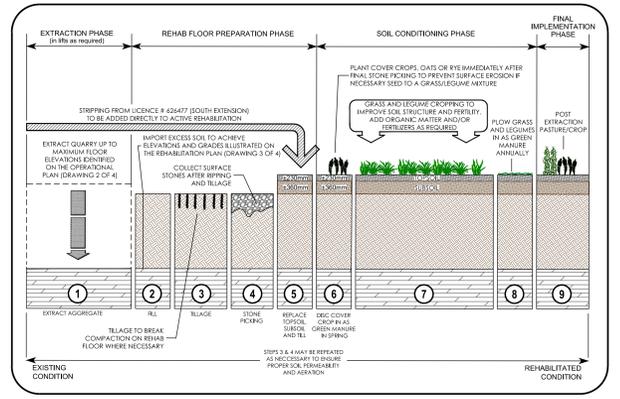
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 Checked by: B.Z. Date: SEPTEMBER 2021

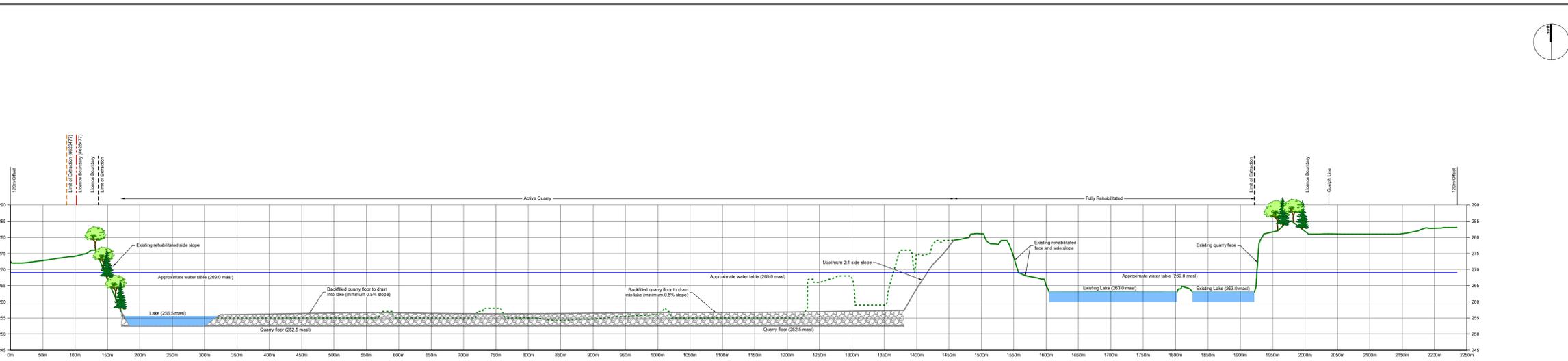
PLANNING & FINAL REHABILITATION PLAN
 Drawing No. **3 OF 4**

- Rehabilitation Notes**
- Final rehabilitation of the site is for a lake, ponds and wetlands with vegetated slopes and quarry floor. The final rehabilitated landform may also include an access road from the entrance/exit to the rehabilitated quarry floor and access roads on the quarry floor to provide access to the sump locations.
 - Notwithstanding a) above, the owner reserves the right to develop the site for other uses, including estate residential, public and/or private recreational uses (i.e. sports fishing, swimming and boating). Depending on the final ownership of the rehabilitated site, these shall be subject to all applicable legislation and by-laws.
 - In accordance with b) above, the licensee has committed to conveying the site into public ownership and to maintain this quarry in a dewatered state by maintaining the pumping regime to provide long-term public water management benefits and mitigate impacts on natural heritage features which depend on quarry discharge from this license.
- The contour shaping of the remaining areas to be rehabilitated, will be done in a manner to create a diverse waters edge. Areas where the waters edge meets a vertical quarry face will be blended into softer slopes and areas just under the waters surface will be created to establish the potential for naturally occurring wetland areas for fish and wildlife habitat. (See typical sketch on sheet 4.)
- Waste rock, overburden topsoil and any MECP approved excess soil will be used to develop suitable safe slope angles as shown. If insufficient overburden and topsoil exists on the site, the owner reserves the right to import excess soil from offsite sources.
 - Except for vertical faces, rehabilitated slopes of the quarry shall not exceed 2:1 and shall vary from 2:1 to 5:1 slopes. Tableland areas for development will be graded from 0.3% to 3.0% slope angles.
 - Islands may be left in the lake should sufficient material remain on the site at the completion of operations. The size of the island shown on the plan is approximate based on current earth quantities. The owner reserves the right to adjust the size depending on the final quantities.
 - In the final stages, the existing berms may be used in the final rehabilitation of the slopes.
 - Regraded slopes will be vegetated with a maintenance free ground cover (i.e. trefoil, crown vetch) and deciduous and coniferous trees of varieties indigenous to the area. Installed heights for deciduous trees will be 2.0 metres and for coniferous trees will be 1.0 metre. Tree fatalities will be replaced at seasonally opportune times. Trees and shrubs will be planted for slope stabilization, habitat enhancement and aesthetics.
 - The regraded quarry floor will be vegetated with a grass legume mixture.
 - For safety a post and wire fence must be installed at the top of all exposed quarry faces and shall run along the top to the point where the quarry face flares into the rehabilitated slope.
 - Phasing of rehabilitation to follow sketches shown above and as set out in dwg No.2.
 - If the site is to be maintained in a dewatered state, prior to the surrender of the Aggregate Resource Act Licence, the licensee shall define the transition of the site to another party and the pre-requisite for license surrender to the satisfaction of the MNRF.

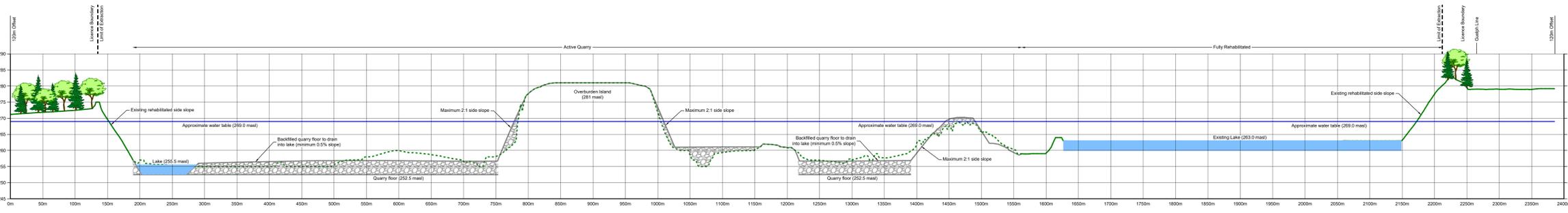
- Agricultural Rehabilitation**
- The Agricultural Rehabilitation Area identified on the plan view shall be established by importing topsoil and subsoil from Licence #626477 and following the Quarry Floor Agricultural Rehabilitation Sequence detail on this drawing.
 - The soils transferred from Licence #626477 for agricultural rehabilitation shall avoid substantial storage of topsoil and minimize storage of subsoil.
 - Topsoil and subsoil shall be replaced at the same pre-extraction depth in Licence #626477 which is approximately 23 centimetres for topsoil and 36 centimetres for subsoil.
 - Soil material for agricultural rehabilitation will only be handled under dry conditions and a wet weather shut down procedure shall be put in place. Travel over soils and rehabilitated areas shall be minimized to reduce compaction. Ripping / tilling the soil will occur where necessary to alleviate soil compaction and shall avoid the mixing of soil materials / layers during the process.
 - Vegetation cover (such as perennial crops) shall be established within the agricultural rehabilitation area in order to reduce erosion, add organic matter to the soil and improve soil structure. A grass-legume cover crop shall be established throughout rehabilitation and maintained for up to five years and ploughed under annually in order to promote and increase organic matter.
 - Plantings in agricultural areas shall include an agricultural seed mix of Annual Rye (50%), Oats (23%), White Rye (23%) and White Clover (4%).
 - The post-extraction land form shall be rehabilitated in a manner that alleviates compaction and minimizes the potential for erosion.
 - Random soil testing shall be completed at the beginning of each growing season to analyze soil fertility, structure and drainage. Adjustments to cropping practices and/or soil amendments may be required based on the results of the soil testing.
 - An Agricultural Rehabilitation Monitoring Program Report shall be submitted annually once progressive rehabilitation efforts have commenced within the agricultural rehabilitation area and five years following completion of rehabilitation in this area. The report shall document the stages of the rehabilitation process and include details on matters such as the following:
 - An overview of the status of the current extraction and progressive rehabilitation phases;
 - Description of annual soil removal and storage methods;
 - Summary of soil test results and post rehabilitation soil capability; and
 - Summary of monitoring data.
 - No livestock operations shall be permitted.
 - Best management practices are encouraged with respect to the storage and application of fertilizers and pesticides.

QUARRY FLOOR AGRICULTURAL REHABILITATION SEQUENCE
 N.T.S.

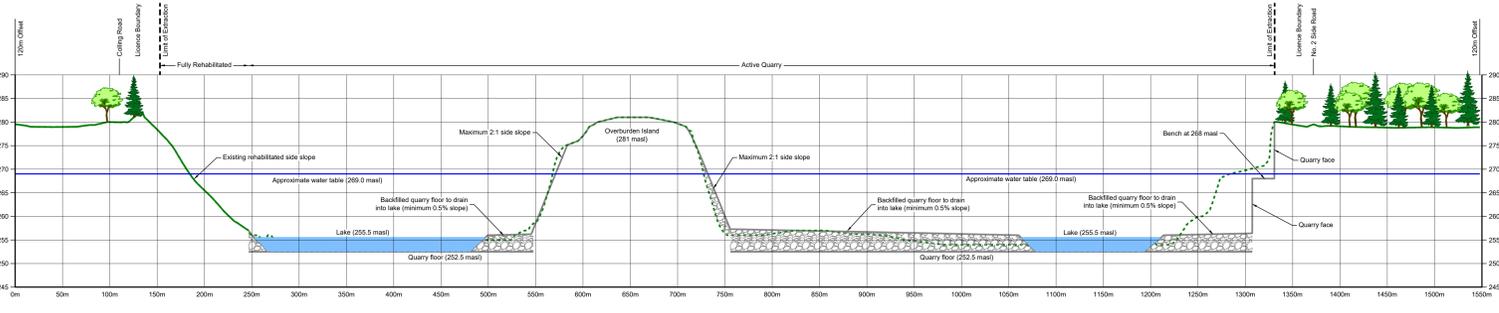




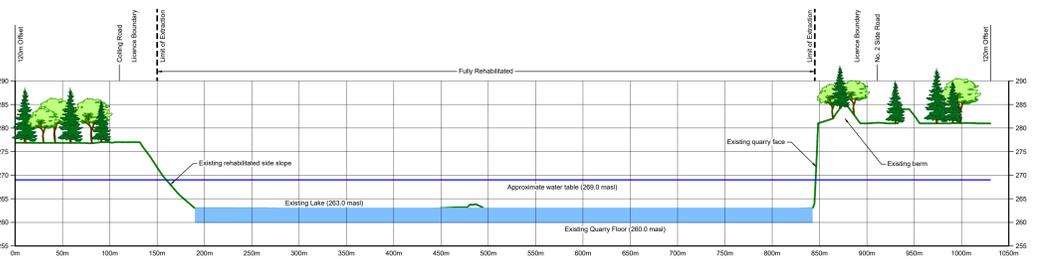
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Vertical 1:500



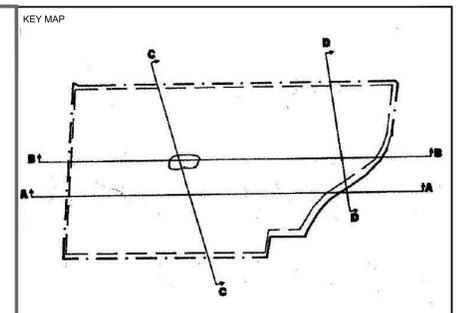
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Vertical 1:500



Section C-C1
Horizontal 1:2500
Vertical 1:500



Section D-D1
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Vertical 1:500

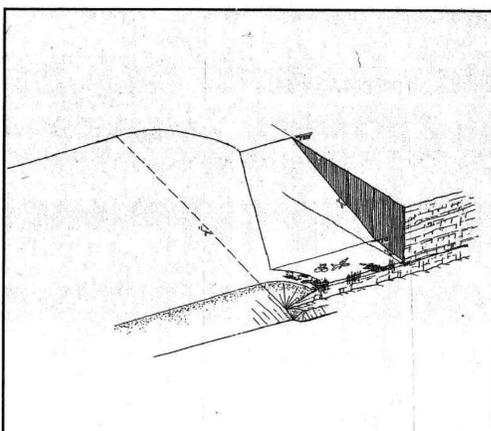


- Legend**
- Licence Boundary
 - Limit of Extraction
 - Licence Boundary (#626477)
 - Limit of Extraction (#626477)
 - 120m Offset From Licence Boundary
 - Existing Grade - Removed / Altered
 - Existing Grade - Undisturbed
 - Quarry Floor / Face
 - Backfilled
 - Lake or Pond

- Information Compiled From**
- 1990 Aerial Photography at 1:5000 Scale
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All distances on this plan are shown in metres unless otherwise stated.

| Site Plan Amendments | | | |
|----------------------|-----------------|---|----------|
| No. | Date (YYYYMMDD) | Description | By |
| 12 | 21/09/10 | UPDATE DRAWINGS 2 OF 4 AND 3 OF 4 | C.P. |
| 11 | 21/04/19 | INTEGRATION OF BURLINGTON QUARRY EXTENSION (LICENCE # 626477) | C.P. |
| 10 | 19/07/14 | REMOVAL/RELOCATION OF BUILDINGS/STRUCTURES ON-SITE | L.H. |
| 9 | 12/01/20 | REVISE FUEL STORAGE NOTE #8 ON PAGE 2 OF 4 | L.H. |
| 8 | 07/12/03 | REVISE INTERNAL DYKE | L.H. |
| 7 | 06/11/02 | REDUCTION OF LICENSED BOUNDARY | L.H. |
| 6 | 06/09/18 | REVISE LOCATION OF SCRAP AREA | L.H. |
| 5 | 08/10/26 | ADDITIONAL RECYCLABLE MATERIAL STORAGE | P.C. |
| 4 | 97/03/05 | REVISED AS PER MINISTRY COMMENTS | P.C. |
| 3 | 03/06/15 | REVISED AS PER MINISTRY COMMENTS | K.C. |
| 2 | 62/10/16 | REVISED AS PER CLIENT COMMENTS | G.M. |
| 1 | 92/10/08 | REVISED PLANS AS PER MNR COMMENTS | ORIGINAL |



MINISTRY OF NATURAL RESOURCES
 NIAGARA DISTRICT
 SITE PLAN APPROVED
 Under the Access to Information Act
 DATE: March 31/99

ORIGINAL SITE PLANS PREPARED BY:

REINDERS
 F.J.Reinders and Associates Canada Limited
 Architects, Engineers, Planners, Project Managers
 BRAMPTON (416)457-1618

REGISTERED PROFESSIONAL ENGINEER
 P. G. W. CHILWAS
 BRAMPTON, ONTARIO

| | | | |
|-----------|-------------|-----------|---------|
| DATE | PROJECT NO. | DRAWN BY | CHECKED |
| MAR.05/99 | 4792 | C.G./S.B. | T.M.J. |

MHBC PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE
 113 COLLIER STREET BARRIE, ON, L4M 1H2 | P: 705 728 0045 F: 705 728 2010 | WWW.MHBCPLAN.COM

MHBC PLANNING DRAFTED SITE PLAN AMENDMENTS NO. 6 TO 12

Stamp: **MINISTRY OF NATURAL RESOURCES NIAGARA DISTRICT SITE PLAN APPROVED**

Mr. Brian Zeman is authorized by the Ministry of Natural Resources and Forestry to prepare and certify site plans for license applications.

Burlington Quarry
 Part of Lots 1 & 2, Conc. 2 & 3
 (former township of Nelson) City of Burlington, Region of Halton

NELSON AGGREGATE CO.
 2433 No. 2 Sideroad
 P.O. Box 1070 Burlington Ont. L7R 4L8
 phone: (905) 335-5250

Drawn By: L.H./C.P. File No. 9135N
 Checked By: B.Z. Date: SEPTEMBER 2021

File Name: **CROSS SECTIONS**
 Drawing No. **4 OF 4**